# ENF MITIGATION

733 WEST MISSION STREET, SANTA BARBARA, CA

### **GN- GENERAL NOTES**

- ALL CONSTRUCTION SHALL CONFORM TO THE 2016 CBC, 2016 CRC, 2016 CMC, 2016 CEC, 2016 CPC, 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2016 CFC, 2016 CA ENERGY COMMISSION STANDARDS & ALL CITY OF SANTA BARBARA
- UNLESS NOTED OTHERWISE, ALL MATERIALS AND EQUIPMENT TO BE INSTALLED PER THE APPLICABLE PROVISIONS OF THESE DOCUMENTS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS
- THESE DOCUMENTS CONVEY MINIMUM CONSTRUCTION REQUIREMENTS AND ARE TO BE USED WHERE THE APPLICABLE CONDITIONS OCCUR. MORE STRINGENT REQUIREMENTS STIPULATED WITHIN RELEVANT MANUFACTURER'S INSTALLATION INSTRUCTIONS WILL SUPERSEDE
- ALL WORK TO BE PERFORMED BY LICENSED & INSURED CONTRACTOR
- THE CONTRACTOR IS RESPONSIBLE FOR MEANS, METHODS, AND TECHNIQUES FOR CONSTRUCTION
- ALL OSHA REGULATIONS SHALL BE FOLLOWED. GENERAL CONTRACTOR & EACH SUB-CONTRACTOR RESPONSIBLE FOR JOB-
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR DEPOSITING DEBRIS RESULTING FROM THEIR WORK IN THE JOB-SITE
- ALL DIMENSIONS, UNLESS OTHERWISE INDICATED, ARE TO FACE OF STUD, CONCRETE, OR MASONRY
- SEE FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED/MANDATORY ENERGY FEATURES FOR: WALL/CEILING INSULATION, WINDOW AREAS AND TYPES, HVAC SYSTEMS AND EFFICIENCY, DUCT INSULATION AND TESTING, LIGHTING TYPE AND SWITCHING, AND PIPE/HEATER INSULATION. PROVIDE COMPLETED FORM CF-6R UPON FINAL INSTALLATION OF ALL ENERGY
- PROJECTS WITH ZONING MODIFICATION APPROVALS, WITHIN 12" OF A SETBACK, OR WHERE CONDITIONS WARRANT, MAY REQUIRE A SURVEY TO VERIFY PROPOSED FOOTPRINT OF THE STRUCTURE PRIOR TO FOOTING INSPECTION. PROVIDE SURVEYOR VERIFICATION TO INSPECTOR IF REQUESTED BY BUILDING OFFICIAL
- UNO, ALL REFERENCED STRUCTURAL HARDWARE TO BE FROM SIMPSON STRONG-TIE (ESR-2523)
- AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, OR WEB BASED REFERENCE SHALL BE PLACED IN THE BUILDING. THE MANUAL SHALL INCLUDE ALL OF THE ITEMS LISTED ON THE CALIFORNIA GREEN

#### BMP- STORMWATER BEST MANAGEMENT PRACTICES

- DETAILED INFORMATION RELATING TO THE BEST MANAGEMENT PRACTICES SPECIFIED BELOW AND ELSEWHERE WITHIN THIS DOCUMENT CAN BE FOUND IN THE CALIFORNIA STORMWATER BMP HANDBOOK; AVAILABLE FOR DOWNLOAD AT
- WWW.CABMPHANDBOOKS.COM & http://www.dot.ca.gov/hq/construc/stormwater/manuals.htm GENERAL CONTRACTORS/CONTRACTORS AS APPLICABLE ARE RESPONSIBLE FOR THE TRAINING OF PERSONNEL IN THE PROPER DISPOSTION OF CONSTRUCTION WASTE & IMPLEMENTATION OF BMPS
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW SWALES AREA DRAINS NATURAL DRAINAGE COURSES OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO
- CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS MUST BE
- MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS A SOLID WASTE. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT
- CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND. SEDIMENTS AND OTHER MATERIAL MAY NOT BE TRACED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE
- ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DEMANDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND
- PRESERVE EXISTING VEGETATION AT AREAS ON THE SITE WHERE NO CONSTRUCTION ACTIVITY IS PLANNED OR WILL OCCUR AT A
- WATER USED DURING CONSTRUCTION ACTIVITIES IS TO BE USED IN A MANNER THAT AVOIDS CAUSING EROSION AND/OR THAT TRANSPORTS POLLUTANTS OFF SITE
- DO NOT CLEAN, FUEL, OR MAINTAIN VEHICLES ON-SITE, EXCEPT IN DESIGNATED AREA WHERE WASH WATER IS CONTAINED & TREATED

## SI- SPECIAL INSPECTIONS & STRUCTURAL OBSERVATIONS

- ALL SPECIAL INSPECTIONS SHALL CONFORM TO CHAPTER 17 OF THE CALIFORNIA BUILDING CODE
- CONTRACTOR TO OBTAIN APPROPRIATE SPECIAL INSPECTION/OBSERVATION REPORT DOCUMENTATION PRIOR TO REQUESTING AN INSPECTION BY THE LOCAL BUILDING AUTHORITY
- WINDWARD TO OBSERVE REINFORCEMENT STEEL PRIOR TO CONCRETE PLACEMENT
- WINDWARD TO OBSERVE FRAMING & SHEAR WALL NAILING AFTER PLUMBING, MECHANICAL & ELECTRICAL ROUGH-IN WORK HAS BEEN COMPLETED
- EPOXY UNO, PERIODIC INSPECTION REQUIRED FOR RETROFITTED ANCHOR BOLTS (5-S504 CONC-EPOXY ANCHOR
- CALL 48 HOURS IN ADVANCE TO SCHEDULE INSPECTIONS

City of Santa Barbara

AUGUST 16, 2018

733 W. Mission St.

Santa Barbara, CA 93101

SantaBarbaraCA.gov

Director's Office Tel: (805) 564-5502 Fax: (805) 564-5477 & Human Services Tel: (805) 564-5461

Fax: (805) 564-5477 Building & Safety

Tel: (805) 564-5485 Fax: (805) 564-5476 Tel: (805) 564-5470

Fax: (805) 564-5477 Rental Housing Mediation Program Tel: (805) 564-5420 Fax: (805) 564-5477

630 Garden Street

Santa Barbara, CA

PO Box 1990

APN: 043-122-001 Case Number: ENF2018-00688 Subject Property: 733 W. Mission St., Santa Barbara, CA 93101

> Dear Evelyn Rios, Amparo Gracia Rios & Gilberto Rios Aguilar: Due to a recent concern filed with the Building & Safety Division, an inspection at the Subject Property was performed on July 20, 2018 and August 8, 2018. As a result of our investigation, we have found the Property to be in violation of Santa

Building & Safety Division

**Amended Notice of Violation** 

Evelyn Rios, Amparo Gracia Rios & Gilberto Rios Aguilar

Barbara Municipal Code Section 22.04.010 as follows:

- 1) A 6' fence has been constructed without approvals or permit along
- property line on S/W side of house. (Photos 1-3) 2) A water heater has been installed without permit on S/W side of house (Photos 2-4)
- 3) A water heater on S/E side of house has not been maintained correctly and is not adequately installed. (Photo 5)
- 4) A laundry area has been added to S/E side of house without permit.
- 5) The garage and garage door has been altered to prevent vehicle access.

#### CODE SECTION: 2016 California Residential Code, Section R105.1

6) The driveway has been removed without permit. (Photo 10)

Any owner, or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas mechanical or plumbing system, the installation of which is regulated by this code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit.

This Notice of Violation identifies the concerns of the Building and Safety Division of the City of Santa Barbara. Other departments or divisions of this City and other governmental agencies may have additional concerns or requirements.

Tax Implications Pursuant to California Revenue and Taxation Code sections 17274 and 24436.5, the City may forward information regarding you and any other owners of the above-referenced property to the State Franchise Tax Board for violations of State and City laws related to health, safety, and building if the above listed property constitutes substandard housing. This action will prevent you, any other owners, or subsequent owners from deducting interest, taxes, depreciation, or amortization for the above-referenced property on state income taxes. In order to prevent this, you must immediately comply with all State and City laws to abate

#### **Appeal Rights**

from you, the property owner.

Any party aggrieved by this decision of the City's Chief Building Official including but not limited to decisions or determinations made relative to the application and interpretations of the technical codes, and the refusal, suspension, voiding, or revocation of a license or permit, may appeal such decision to the Building and Fire Code Board of Appeals by obtaining an appeal form on the internet at http://www.santabarbaraca.gov/services/planning/forms/building.asp or from the City Building & Safety office. You are required to submit the appeal form within ten (10) days from the date of this notice in order for your appeal to be heard by the Building and Fire

For information regarding the appeals process, please refer to Santa Barbara Municipal Code Section 22.04.020 or contact the Community Development Department at (805) 564-5502. For information on Building and Fire Code Board of Appeals the please visit the following website http://www.santabarbaraca.gov/gov/brdcomm/ac/bfcba/default.asp

Code Board of Appeals. The completed appeal form must be delivered to the City's Building & Safety office located at 630 Garden St., Santa Barbara, CA 93101.

☐ Tenant Relocation Required (Residential Uses Only) Only when the above box is checked, pursuant to Health and Safety Code section 17975, you are hereby notified as the owner of the subject property that any tenant on the subject property who is displaced or subject to displacement from a residential rental unit at the subject property as a result of this order requiring the vacation of a residential unit by the City of Santa Barbara Building & Safety Department as a result of the violation(s) noted above being so extensive and of such a nature that the immediate health and safety of the residents is endangered, that the tenant(s) shall be entitled to receive relocation benefits

Pursuant to Health and Safety Code section 17975.1, the relocation benefits shall be paid by you, the owner or designated agent, to the tenant within 10 days after the date of this notice to vacate which has been posted on the premises, or at least 20 days prior to the vacation date set forth in this notice to vacate, whichever occurs later. If there are fewer than 10 days between the date of this notice to vacate and the vacation date, the relocation

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REMEDY: A building permit will be required for the construction listed above. Bring this Notice to the Building Permit Counter at 630 Garden Street and ask for an explanation of the plan submittal that will be required for permit application and issuance. Be aware that permit issuance must be obtained by the dates prescribed in this Notice. If permits are not obtained within the prescribed time frames, you will be ordered to obtain a demolition permit immediately.

#### **ZONING VIOLATIONS:**

- The new fence along Chino St exceeds 42" height within 10' of a front lot line. The trash containers are located within the front yard and setbacks without
- Outdoor storage: the vehicles are parked in the open vard, various items are also stored within the open yard and setbacks, including the portable toilet located within the front setback.
- The garage is unavailable for the parking of a vehicle.
- Commercial vehicles parked at a residence.
- The driveway was removed and replaced with gravel, a prohibited loose
- The parking and garage are being used to support a non-approved Home Occupation.
- CODE SECTIONS:
- SBMC§30.140.110 Fences and Hedges • E. Residential Zones. The following standards apply to fences and hedges located
- within Residential Zones. 1. Height Limitations for Fences and Hedges.
- a. Hedges Within Required Front and Interior Setbacks. Eight feet.
- b. Fences Within Required Front and Interior Setbacks. Eight feet, except fences closer than 10 feet of a front lot line shall not exceed a height of 42 inches.
- SBMC§30.140.240 Waste, Recycling, and Outdoor Storage • A. Waste and Recycling Storage. Appropriately screened and located storage
- areas for solid waste and recycling receptacles that provide sufficient capacity for the development or use shall be provided, as follows:
- 6. Location. No portion of any front yard, setback, open yard, or front porch shall be used to store waste, recycling or similar receptacles.
- B. Outdoor Storage. No portion of any front yard or any setback, required open yard, or front porch shall be used for the storage or parking of motor vehicles, trailers, airplanes, boats, parts of any of the foregoing, appliances, loose rubbish or garbage, junk, tents, building materials, compost pile, or any similar item for a period of 48 or more consecutive hours, except as provided below.

benefits shall be paid by you, the owner or designated agent, to the tenant within 24 hours of the date of this notice.

This notice has also been given to the tenant in possession of the property. You cannot retaliate against the tenant pursuant to Civil Code section 1942.5. The relocation payment shall be made available by you, the owner or designated agent, to the tenant pursuant to Health and Safety Code section 17975.2.

My direct office phone number is (805) 897-2505. Our offices are closed every other Friday please call 564-5485 to find out the Friday we will be closed. Inspector office hours are 7:30-8:30 a.m. and 3:00-4:00 p.m. Monday through Friday except for Thursday afternoon and our "off" Friday. You may also contact our office for plan submittal and permit issuance requirements at (805) 564-5485 between the hours of 7:30 and 4:30 p.m., Monday through Friday. The Community Development public counters are located at 630 Garden Street. Additional information is available online at www.SantaBarbaraCa.gov

Your prompt attention to this matter is appreciated.

Attachment: Field Investigation Images

Cc: File

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1. Storage established as a permitted use with a permit or approval, as

provided in this Title. • 2. Construction materials for use on the same premises may be stored during the

or use be considered as providing any of the required parking spaces for any other

time that a valid permit is in effect for construction on the premises. • SBMC§30.175.030.H – Parking Availability

• All parking required by this Chapter must be available for its intended purpose during business hours for all nonresidential uses and at all times for residential uses, and shall remain accessible and available to all occupants and patrons of uses and structures. In no event shall parking facilities that are required for a structure

structure or use. • SBMC§30.175.030.L – Commercial Vehicles

• Parking of commercial vehicles on any lot developed with solely residential uses is limited to the time necessary to transact business or provide a service at a

• SBMC§30.175.080.H – Parking Area Materials

• All required automobile parking areas and driveways shall be fully hard surfaced with asphaltic concrete of minimum thickness of two inches, with four inches compacted base, or other techniques or materials providing equivalent service. Gravel, dirt, and other similar loose materials are prohibited in the driveway closer than 100 feet of any right-of-way.

• SBMC§30.295.020 - Home Occupation

• A nonresidential use conducted on residential property by the inhabitants of the subject residence, which is incidental and secondary to the residential use of the residential unit. This use must comply with the standards outlined in

REMEDY: Please contact Matt Niro - MNiro@SantaBarbaraCA.gov if you have questions on any of the Zoning Violations and how they may be abated. The Zoning Violations must be addressed on plans submitted to abate building

The Building Official has determined that the violations on the Property must be abated in an expeditious manner.

- A permit must be obtained and work commenced within 30 days of the date
- Work must be completed and all violations abated within 30 days of the date

If either of these dates are not met, further legal action may be necessary.

## PROJECT DATA

#### SCOPE OF WORK -

ADDRESS VIOLATIONS CONTAINED IN ENF2018-00688: \* REPLACE UNPERMITTED 6 FT WOOD FENCE ON CHINO ST. PROPERTY LINE WITH 42" FENCE

\* REMOVE UNPERMITTED WATER HEATER ON WEST SIDE OF HOUSE \* REPLACE WATER HEATER ON EAST SIDE OF HOUSE, RELOCATE TO SOUTH SIDE OF HOUSE

REINSTALL TO SERVICE BOTH UNITS

\* CEASE USING PARKING AND SHED FOR NON-APPROVED HOME OCCUPATION

\* PERMIT LAUNDRY AREA ON EAST SIDE OF HOUSE \* REPLACE GRAVEL DRIVEWAY WITH 2032 SF PAVER DRIVEWAY

\* REMOVE VEHICLES AND BUILDING MATERIALS FROM WITHIN SETBACKS \* REMOVE PORTABLE TOILET FROM WITHIN SETBACK

\* CEASE PARKING COMMERCIAL VEHICLES AT SITE \* CONVERT STRUCTURE PERMITTED AS SINGLE CAR GARAGE TO STORAGE SHED

\* CONSTRUCT SCREENED 4-CAR PARKING AREA WITH 766 SF CARPORT COVER

\* CONSTRUCT SCREENED TRASH AREA ON SOUTH SIDE OF HOUSE

\* PERMIT 1390 SF AS-BUILT PAVER PATIO \* CONSTRUCT 306 SF GAZEBO AT AS-BUILT PAVER PATIO PER PLAN

APN: 043-122-001

JURISDICTION: CITY OF SANTA BARBARA

LAND USE ZONE: R-2 (SBMC TITLE 30)

LOCATION: 733 WEST MISSION STREET

LOT SIZE: 9,989 SF

AVERAGE SLOPE OF PROPERTY: 2 %

OCCUPANCY CLASSIFICATION (E): R-3

OCCUPANCY CLASSIFICATION (P): R-3

CONSTRUCTION TYPE: V-B

PERMITTED 1 COVERED PER 1929 PERMIT REQUIRED PROPOSED 4 COVERED

FLOOD ZONE: NO

SPINKLERS: NO

STORIES: 1 HEIGHT: 14'-6" ±

**PROJECT STATISTICS-**TYPE STATUS DESCRIPTION **NET SF GROSS SF** HABITABLE DUPLEX 1 Existing DUPLEX 2 Existing 1,343 sq ft 1,460 sq ft NON-HABITABLE (E) GARAGE Existing 184 (P) GAZEBO

IMPERVIOUS HARDSCAPE AREAS STATISTICS-PARKING STATISTICS-

EXISTING: 1 (UNCOVERED) DRIVEWAY 2032 SF REQUIRED: 4 LAUNDRY (COVERED) AS-BUILT: PROPOSED: 4 49 SF AS-BUILT: PATIO 1390 SF

REPLACED: NONE

TOTAL:

REMOVED: 365 SF (CONC RIBBON DRIVEWAY, EST.)

3504 SF

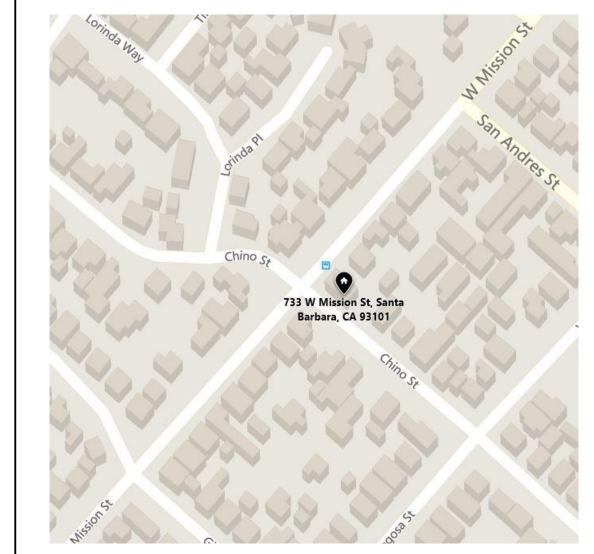
### PROJECT TEAM

THE RIOS & AGUILAR FAMILIES 733 WEST MISSION STREET SANTA BARBARA, CA 93101

EMAIL: JENNIFER\_NAVARRO502@YAHOO.COM

WINDWARD DESIGN SERVICES, LLC 424 OLIVE STREET SANTA BARBARA, CA 93101 TEL: 805.845.6601

EMAIL: KEN@WINDWARDENG.COM



VICINITY MAP

moving forward

424 OLIVE STREET

SANTA BARBARA, CA 93101 T: 805.845.6601 E: INFO@WINDWARDENG.COM

ENF MITIGATION

CLIENT

733 WEST MISSION STREET SANTA BARBARA, CA 93101

#### THE RIOS & AGUILAR FAMILIES 733 WEST MISSION STREET SANTA BARBARA, CA 93101

A201 ELEVATIONS

A202 ELEVATIONS

SHEET INDEX G001 GENERAL A101 SITE PLAN A102 FLOOR PLAN

12/16/2019

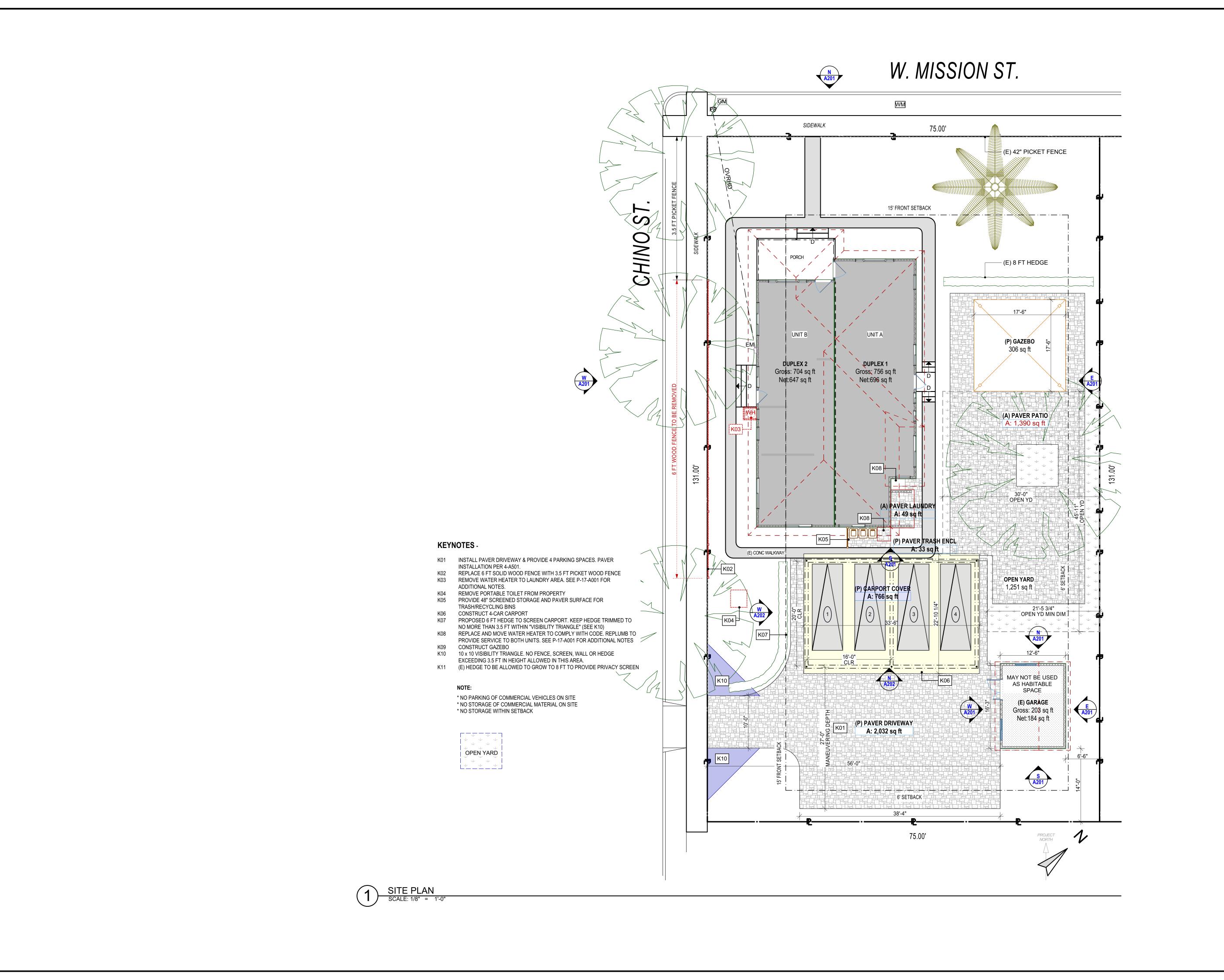
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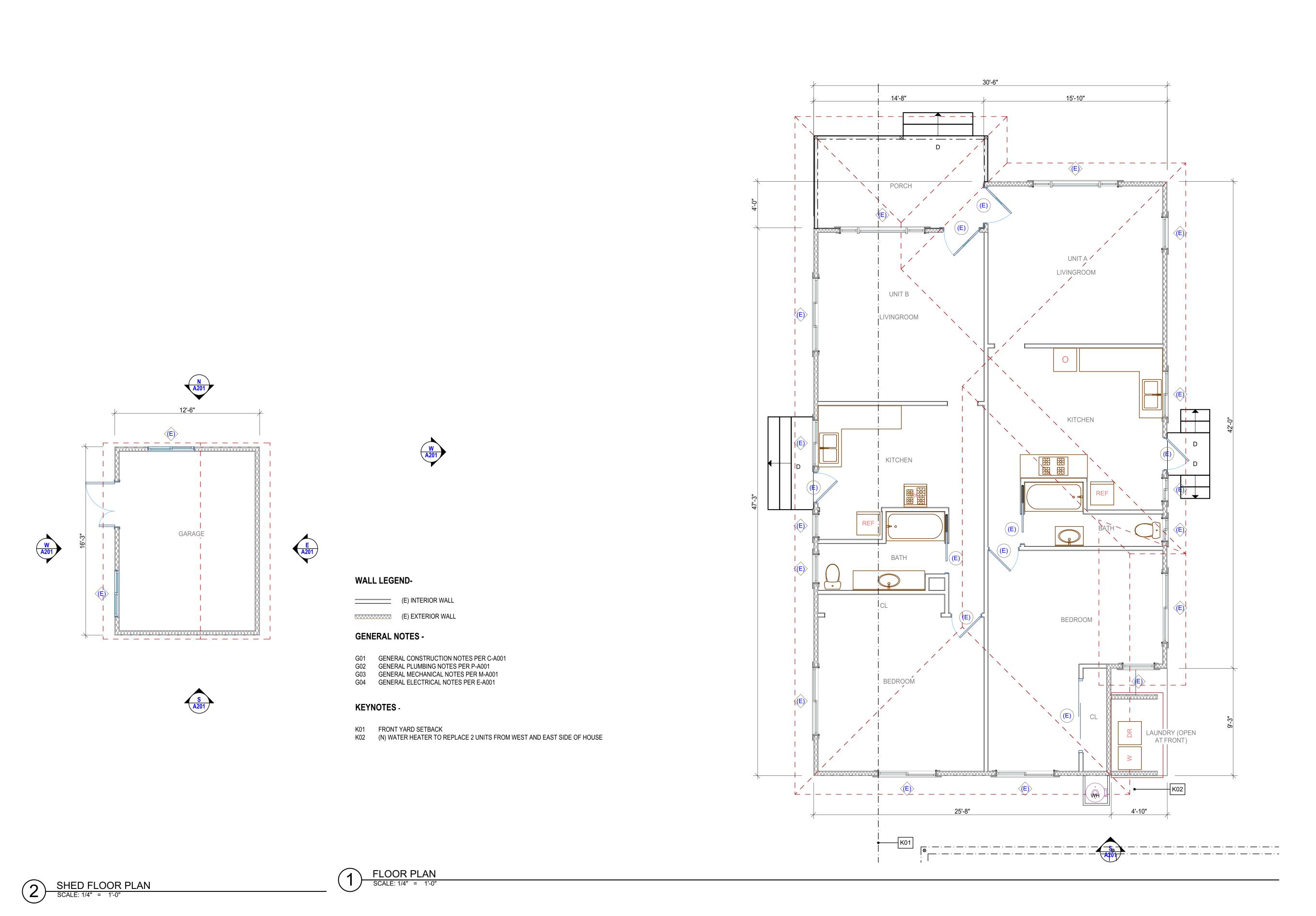
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**GENERAL** 

SHEET



SITE PLAN LEC	BEND	IA/IAIDIA/A DD
	AREA OF ADDITION	WINDWARD
	AREA OF REMODEL	design services, llc
	AREA OF OPEN YARD	moving forward
AD BP	AREA DRAIN	424 OLIVE STREET
BV	BACKFLOW PREVENTION  BALL VALVE	SANTA BARBARA, CA 93101
	BIO RETENTION BASIN	T: 805.845.6601 E: INFO@WINDWARDENG.COM
BRI	BIO RETENTION INVERT	
BRO	BIO RETENTION OVERFLOW	PROJECT ENF MITIGATION
CB	CATCH BASIN	733 WEST MISSION STREET
	CHANNEL/TRENCH DRAIN	SANTA BARBARA, CA 93101
CO	CLEANOUT	CLIENT
	СМИ	THE RIOS & AGUILAR FAMILIES
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	DECOMPOSED GRANITE	SANTA BARBARA, CA 93101
<u>DD</u>	DECK DRAIN	SHEET INDEX
	DEMOLISH	COOA CENEDAL
DZI	DETENTION ZONE (DZ)  DETENTION ZONE INVERT	G001 GENERAL A101 SITE PLAN
DS DS	DOWNSPOUT	A102 FLOOR PLAN
<u></u>	DRAINAGE SLOPE	A201 ELEVATIONS
~~~	DRIP IRRIGATION	A202 ELEVATIONS
	EASEMENT	
EM	ELECTRIC METER	
` - XXX	ELEVATION (DEMO)	
XXX	ELEVATION (E)	
XXX	ELEVATION (N)	
<del></del>	ELECTRIC/PHONE/CATV  EXCAVATE & COMPACT (E&C)	
EX	EXCAVATION DEPTH	
988888 FR 12.0 98888898	FIBER ROLL	
+ +	FILL	
FF	FINISHED FLOOR ELEVATION	
FG	FINISHED GRADE ELEVATION	
FH	FIRE HYDRANT	
FB GM	FREEBOARD  GAS METER	
G	GAS PIPE	
GV	GROUND VAULT	
HH	HANDHOLE	
	LANDSCAPE	
	LIMIT OF DISTURBED AREA OVERFLOW INVERT	
OVRHD	OVERHEAD WIRES	
	PAVER	
PAP	PER ARCH PLAN	
PLP	PER LANDSCAPE PLAN	
P	PIPE INVERT	
<u> </u>	POWER POLE PROPERTY LINE	
RP	REDUCED PRESSURE	
RPBP	REDUCED PRESSURE/	
	BACKFLOW PREVENTION RIP-RAP TO PREVENT EROSION	
RG	ROUGH GRADE ELEVATION	
	SELF RETAINING	
	SELF TREATING	
	SETBACK	
SMH	SEWER MANHOLE	
— \$\$ 4.00—	SEWER SANITARY	
	SHUTOFF VALVE SIDEWALK	
SLT	SILT FENCE	
	SLOPE OF GRADE 5% MIN	
SI	FOR 10-FT AT FOUNDATION  SPILLWAY INVERT	
SE XXX	SPOT ELEVATION (E)	
SE XXX	SPOT ELEVATION (N)	
SDMH	STORM DRAIN MANHOLE	DATE: 12/16/2019
— SW 4.00—	STORMWATER (E)	
—\$W4.00—	STORMWATER (N) SUBGRADE	DATES
TOC	TOP OF CURB	09/11/2019 SFDB
TOD	TOP OF DECK	
TOF	TOP OF FENCE	0011 - 10110
TOG	TOP OF GRATE	SCALE AS NOTED
TOP	TOP OF PAVEMENT (B/T, CONC, TILE, ETC)	CREATED BY: WDS
UDS	TOP OF WALL UPPER DOWNSPOUT	SHEET
UNO	UNLESS NOTED OTHERWISE	SITE PLAN
WM	WATER METER	OHE LAN
—CW 1.00—	WATER SUPPLY PIPE COLD	
	WATER SUPPLY PIPE HOT	A101
	WALL DRAIN	MIVI
I vvi	WETTED INVERT	



design services, Ilc

moving forward

424 OLIVE STREET SANTA BARBARA, CA 93101 T: 805.845.6601 E: INFO@WINDWARDENG.COM

PROJECT

ENF MITIGATION 733 WEST MISSION STREET SANTA BARBARA, CA 93101

CLIENT

THE RIOS & AGUILAR FAMILIES 733 WEST MISSION STREET SANTA BARBARA, CA 93101

SHEET INDEX

G001 GENERAL

A101 SITE PLAN

A102 FLOOR PLAN

A201 ELEVATIONS

A202 ELEVATIONS

12/16/2019

DATES

1/2019 SFDB

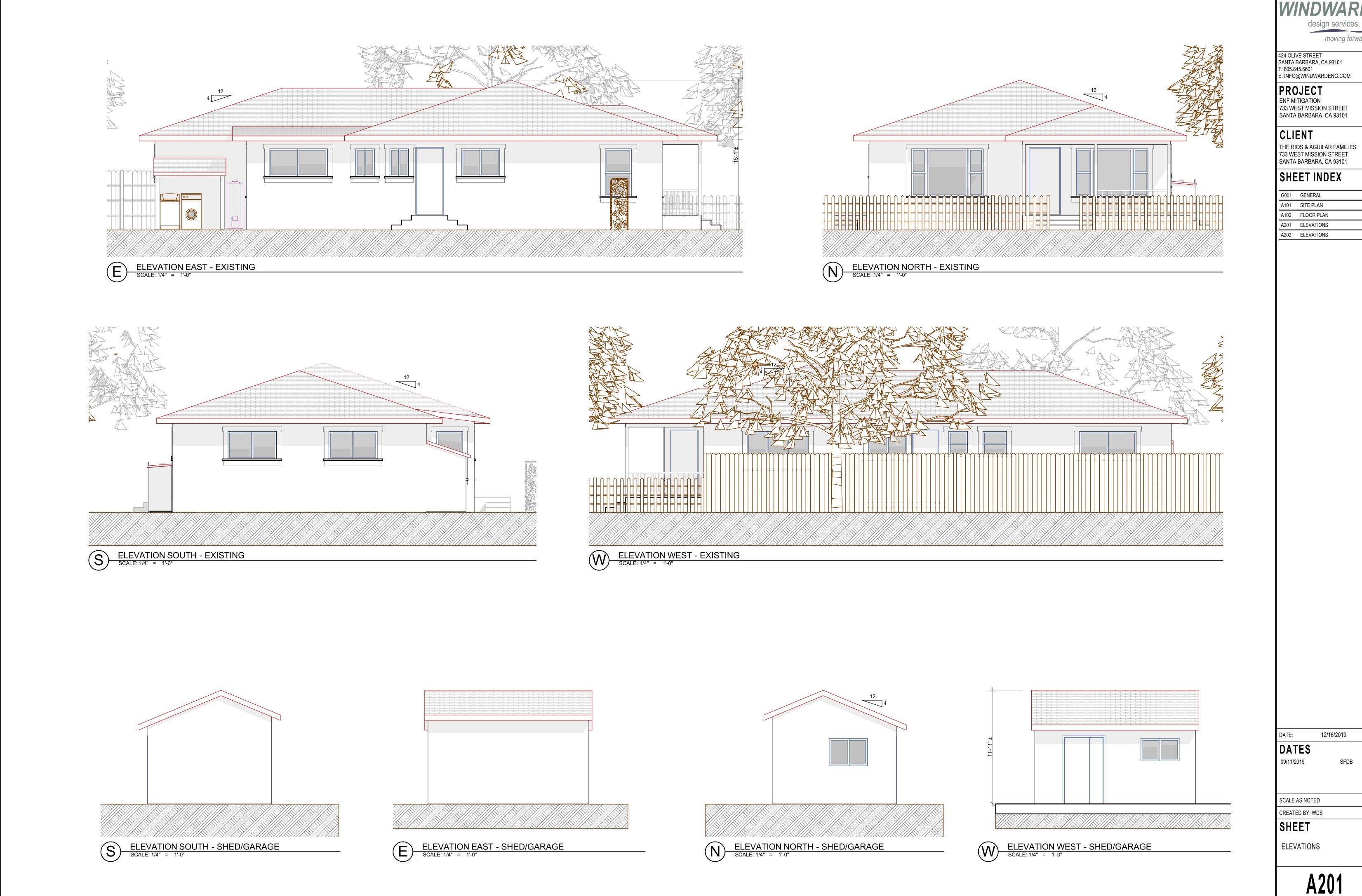
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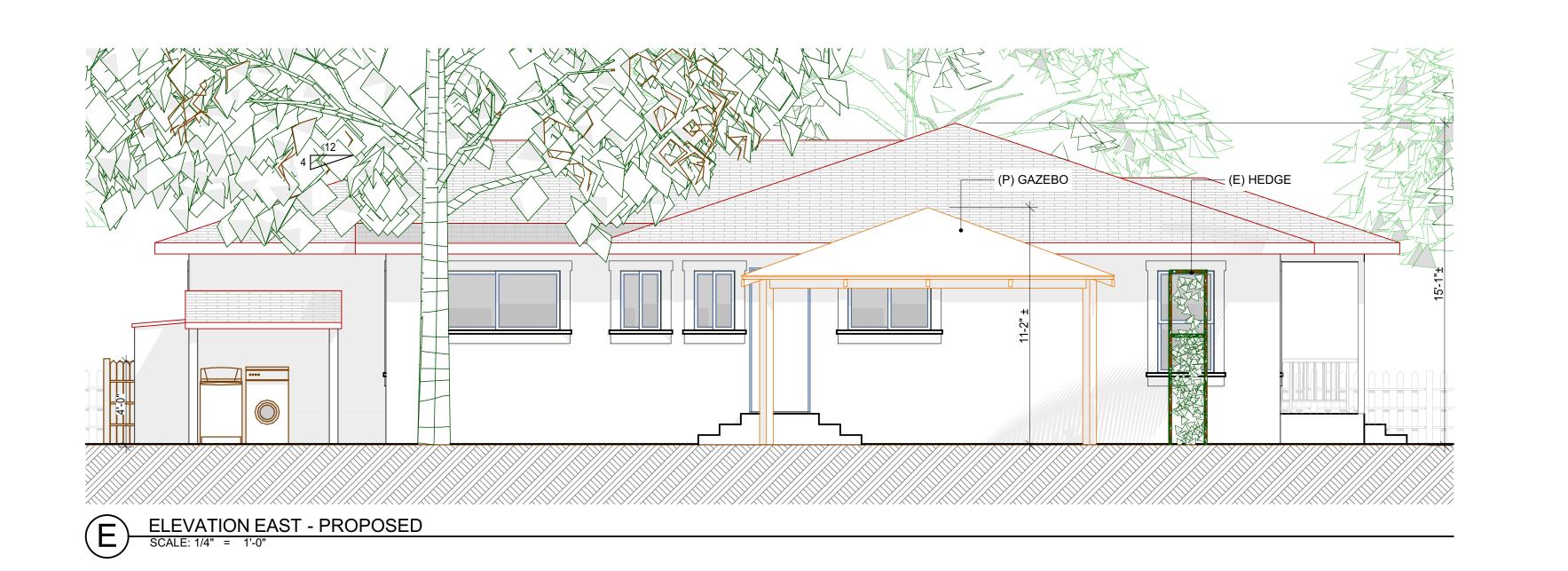
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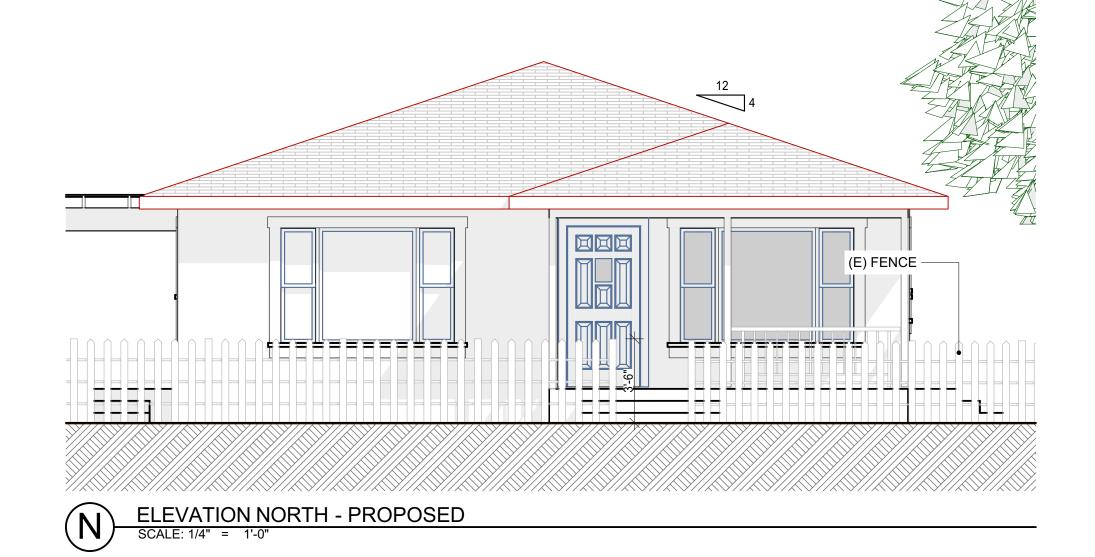
FLOOR PLAN

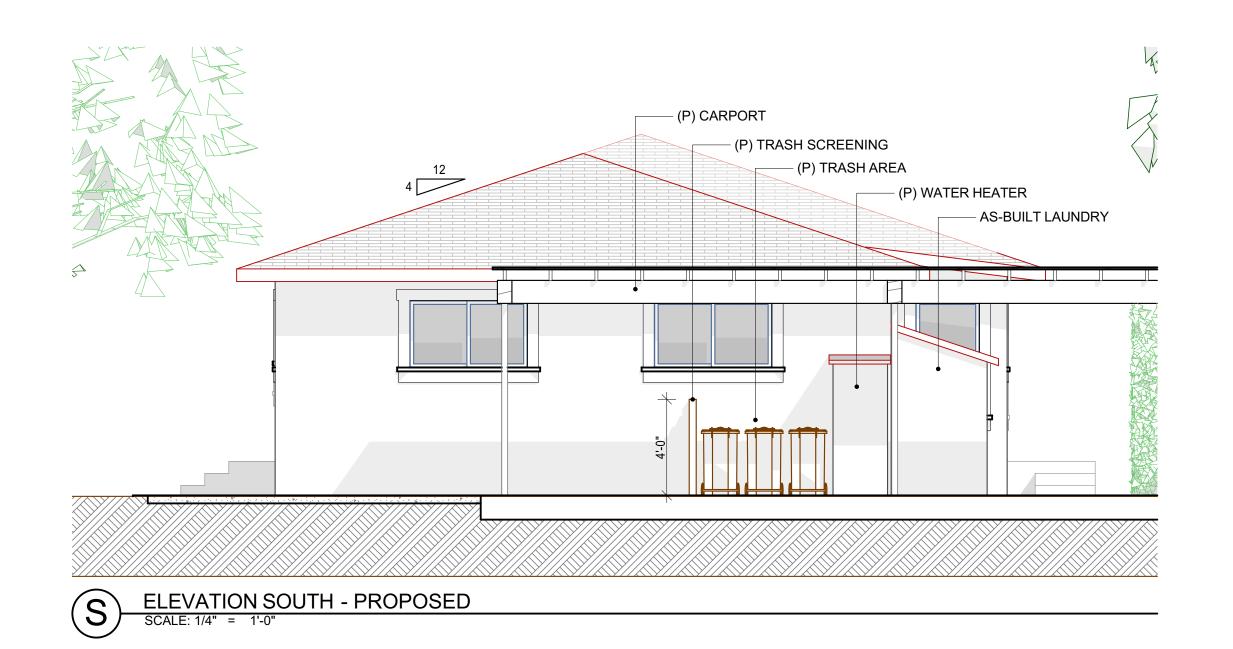
A102

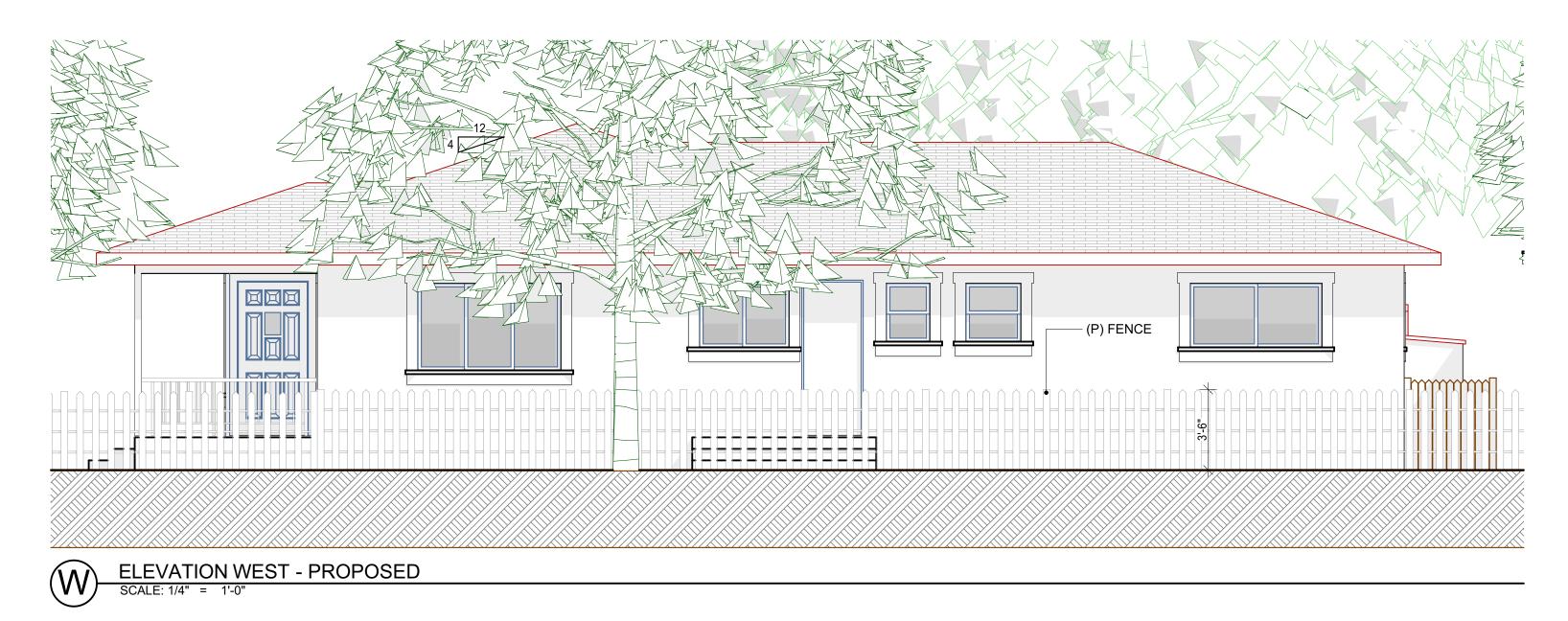


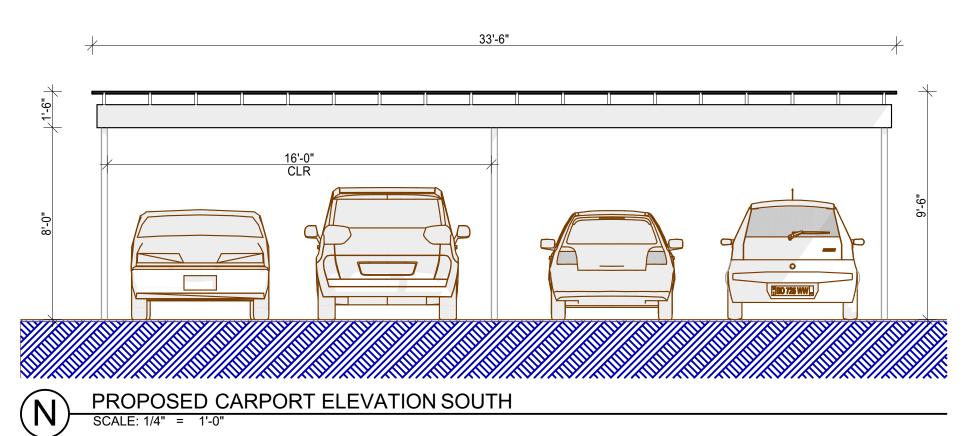
moving forward

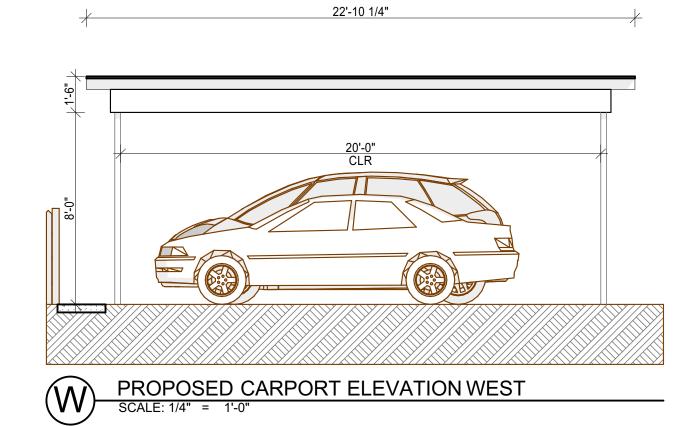












design services, llc

moving forward

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